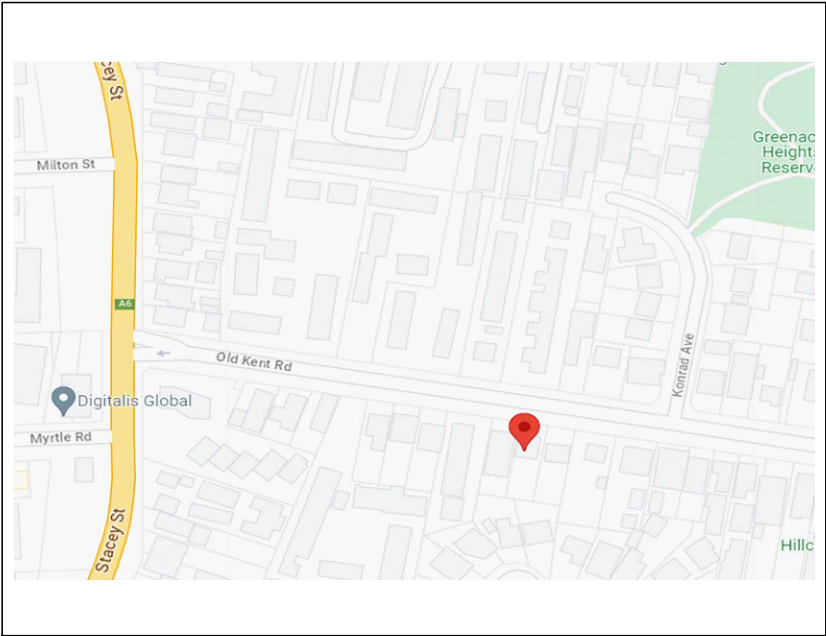
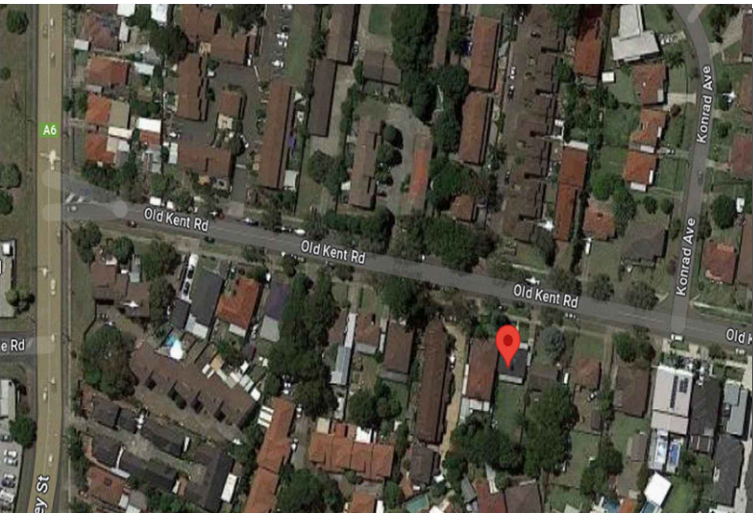


PROPOSED SECONDARY DWELLING (GRANNY FLAT)

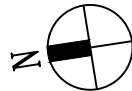
LOCATION MAP

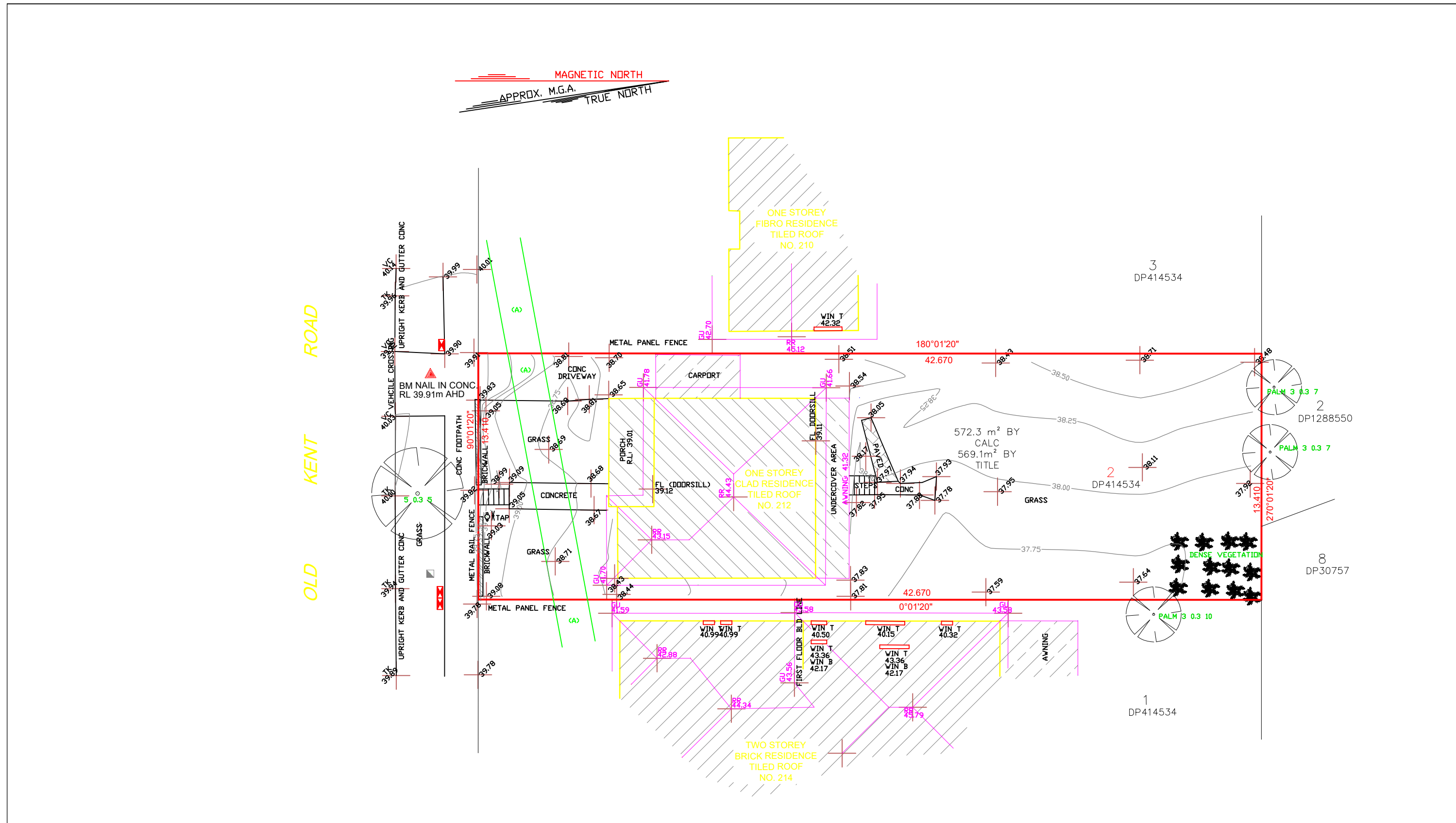


SHEET SCHEDULE (ARCHITECTURAL)							
SHEET	TITLE	SHEET	TITLE	SHEET	TITLE	SHEET	TITLE
000	COVER SHEET						
1	SURVEY PLAN	9	LANDSCAPE PLAN	17		25	
2	SITE PLAN -1/200	10	STORM WATER PLAN	18		26	
3	GROUND FLOOR PLAN	11	MATERIALS AND FINISHES (Colours Charts etc.)	19		27	
4	ROOF PLAN + SECTION A-A	12	NOTIFICATION	20		28	
5	ELEVATIONS	13		21		29	
6	BASIX COMMITMENTS	14		22		30	
7	SITE ANALYSIS	15		23		31	
8	EROSION & SEDIMENT CONTROL PLAN	16		24		32	



SITE LOCATION : 212 OLD KENT ROAD, GREENACRE
LOT 2 - DP 414534

 Sam. Sallit (B. Arch.) MEMBER OF THE ROYAL AUSTRALIAN INSTITUTE OF ARCHITECT REGISTERED DESIGN & BUILDING PRACTITIONER (SERVICE NSW) (Tel - fax) 9637 1491 Mob: 0410 316 294 31 Farnell Street, Merrylands 2160 marsam2@outlook.com.au	JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE
	PROPOSED SECONDARY DWELLING (GRANNY FLAT)	COVER SHEET	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE. - SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE	DATE	21/08/2023					
				CHECKED	SS					
				SCALE	1/200					
				JOB NUMBER	918					
				NUMBER IN SET	1					
	AT: 212 OLD KENT ROAD, GREENACRE LOT 2 - DP 414534	CLIENT NAME MR. AZZAM KSEBE 0410485165		ISSUE						

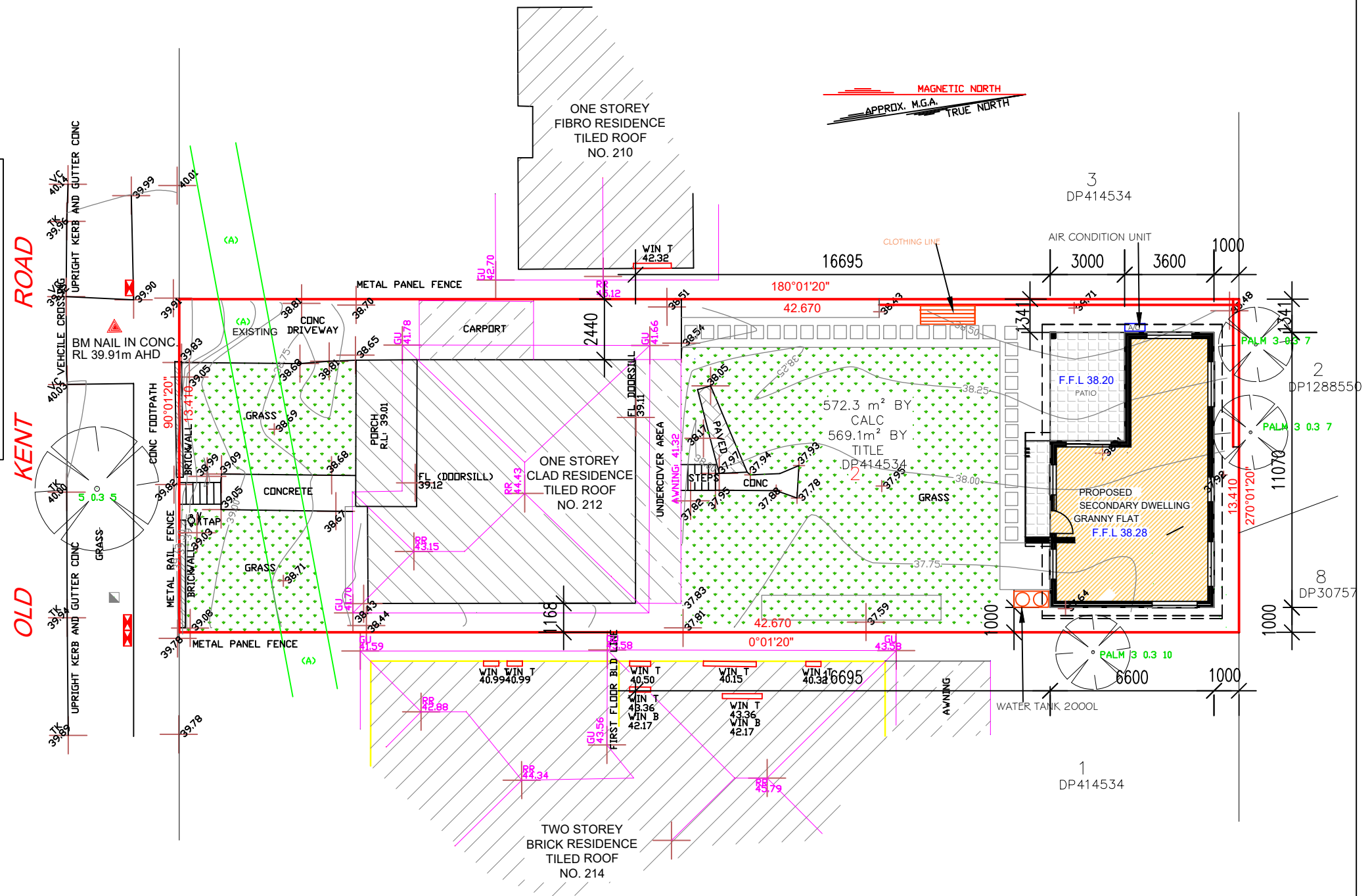


(A) - EASEMENT FOR DRAINAGE 1.83 WIDE (DP414534)

WARNING. 1. Plan compiled from information at land title office as regards dimensions and these are subject to final survey. 2. All details and features shown hereon have been plotted in relation to the occupations (fences and/or wall, etc.) These occupations have not yet accurately located in relation to the boundaries. 3. The details and features and contours are shown to scale plot accuracy only, copying may distort the scale 4. Services structures shown hereon are those that were visible at the time of survey and have been located by field survey. Further services may be present prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed of all services	DETAIL SURVEY 212 OLD KENT ROAD GREENACRE LOT 2 IN DP 414534 NOTE : ORIGIN OF A.H.D IS SSM71487 RL.44.186 A.H.D A TOPOGRAPHICAL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYING ACT 2002	CEDAR SURVEYING SERVICES		REDUCTION RATIO : 1:200		DATE :			
		LAND AND ENGINEERING SURVEYING		CONTOUR INTERVAL : 0.2m					
		DANNY KHALAF		DRAWING : CCAD5/DATA/1802		JOB NO : 2802			
		B. GEOMATIC ENGINEERING (U.N.S.W) M.I.S		DATUM : A.H.D		SURVEYED BY : DK		DRAWN BY : DK	
		postal address.		SHEET : 1 OF 1		DATE		DATE	
26 ISABEL STREET.									
BELMORE NSW 2192									
PH (02) 9703-0053									
FAX (02) 9703-0053									
MOBILE. 0410 435 762									
Email : dannykhalaf@optusnet.com.au									

DESIGN CALCULATION:

- SITE AREA: 572.3 m²
- EXISTING HOUSE (LIVING AREA): 109 m²
- PROPOSED GRANNY FLAT (FLOOR AREA): 59.98 m²
- TOTAL AREAS :
EXISTING HOUSE + GRANNY FLAT : 167.97 m²
- SITE COVERAGE = 168 m² = 26.15% OF THE SITE
- COURT YARD OF EXISTING HOUSE +
SECONDARY DWELLING (OPEN SPACE) = 219 m²
- LANDSCAPE AREA AT FRONT OF BUILDING = 60 m² = 60% OF FRONT AREA
- TOTAL LANDSCAPE = 235 m² = 41.06 % OF THE SITE



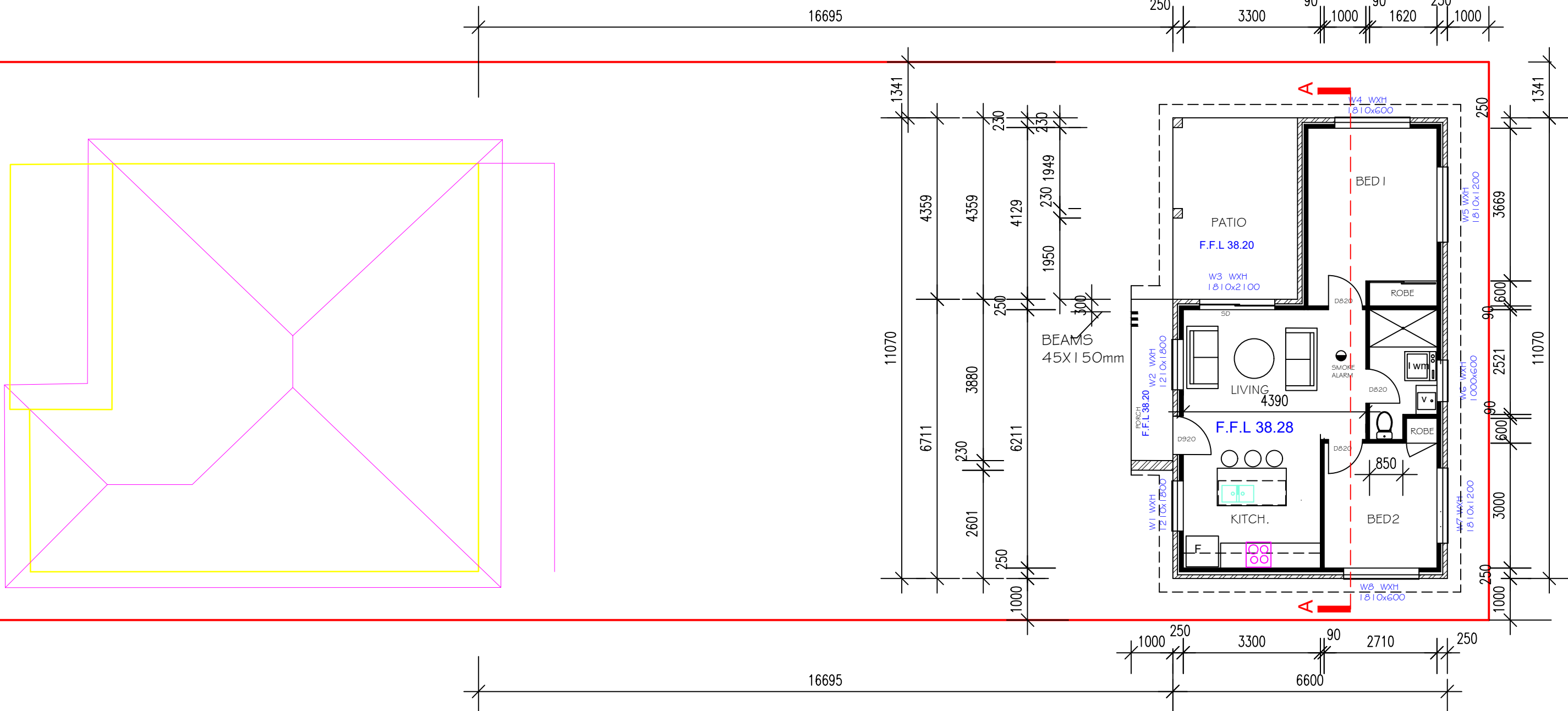
(A) - EASEMENT FOR DRAINAGE 1.83 WIDE (DP414534)

SITE PLAN 1/200

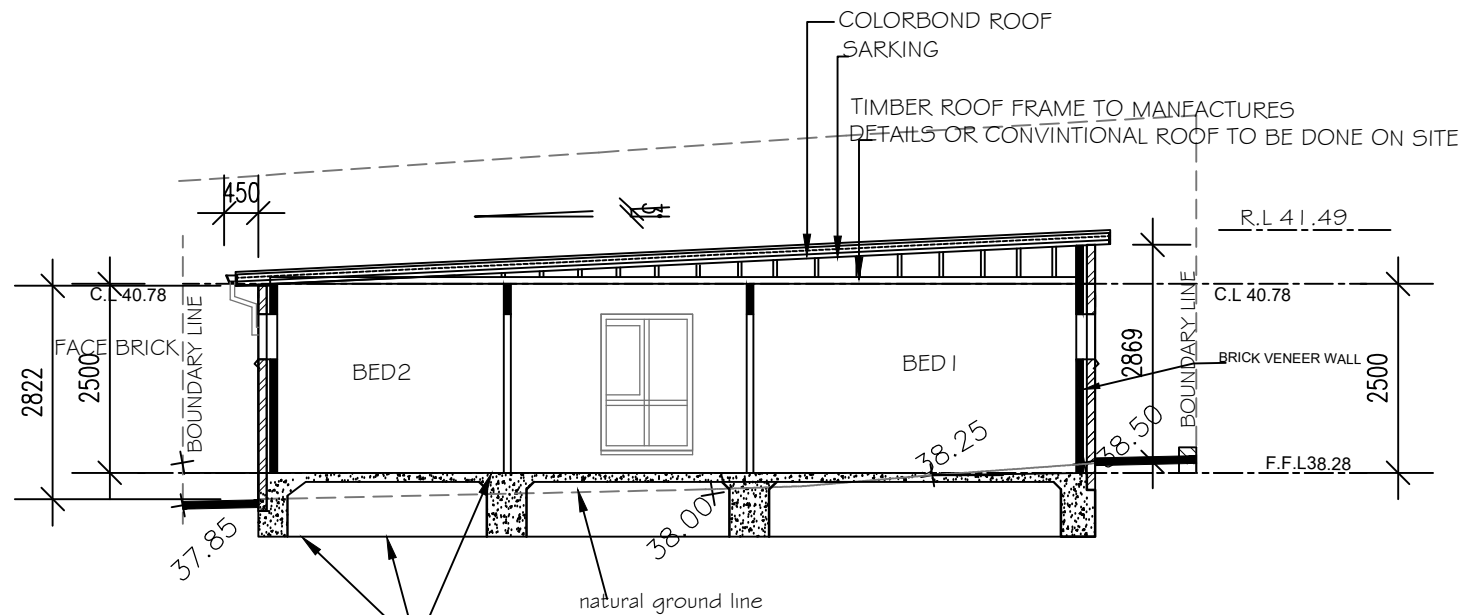


Sam. Sallit (B. Arch.)
MEMBER OF THE ROYAL AUSTRALIAN INSTITUTE OF ARCHITECT
REGISTERED DESIGN & BUILDING PRACTITIONER (SERVICE NSW)
(Tel - fax) 9637 1491 Mob: 0410 316 294
31 Farnell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE
PROPOSED SECONDARY DWELLING (GRANNY FLAT)	SITE PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE.	DATE	21/08/2023					
		- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. - WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS	CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	918					
			NUMBER IN SET	2					
			ISSUE						

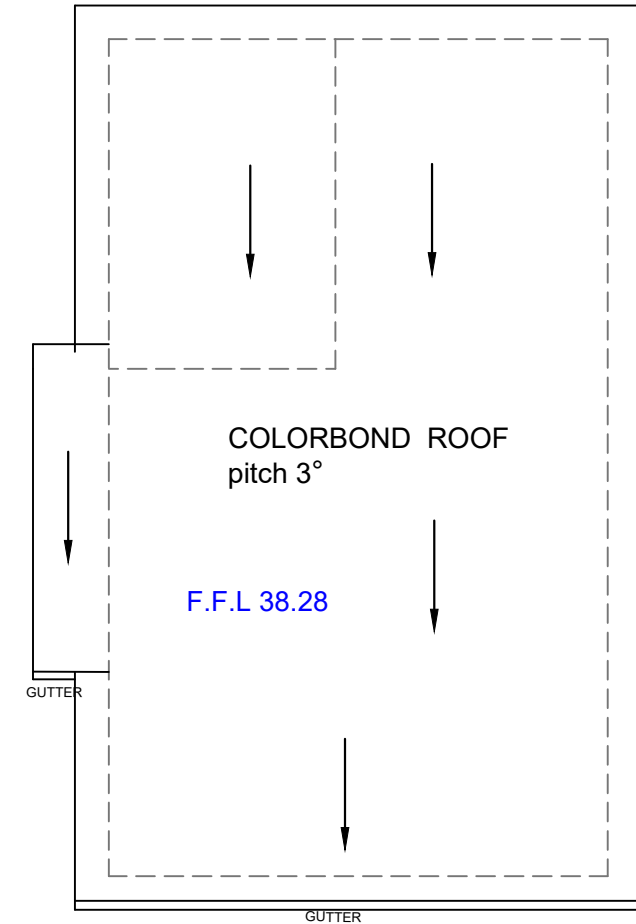


 SIGHT BUILDING DESIGN Sam. Sallit (B. Arch.) MEMBER OF THE ROYAL AUSTRALIAN INSTITUTE OF ARCHITECT REGISTERED DESIGN & BUILDING PRACTITIONER (SERVICE NSW) (Tel - fax) 9637 1491 Mob: 0410 316 294 31 Farnell Street, Merrylands 2160 marsam2@outlook.com.au	JOB DESCRIPTION	DRAWING TITLE	NOTES		DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE
	PROPOSED SECONDARY DWELLING (GRANNY FLAT)	GROUND FLOOR PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE.	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSSE	DATE	21/08/2023					
					CHECKED	SS					
	SCALE	1/100									
	JOB NUMBER	918									
	NUMBER IN SET	3									
	ISSUE										
AT: 212 OLD KENT ROAD, GREENACRE LOT 2 - DP 414534	CLIENT NAME	MR. AZZAM KSEBE 0410485165									



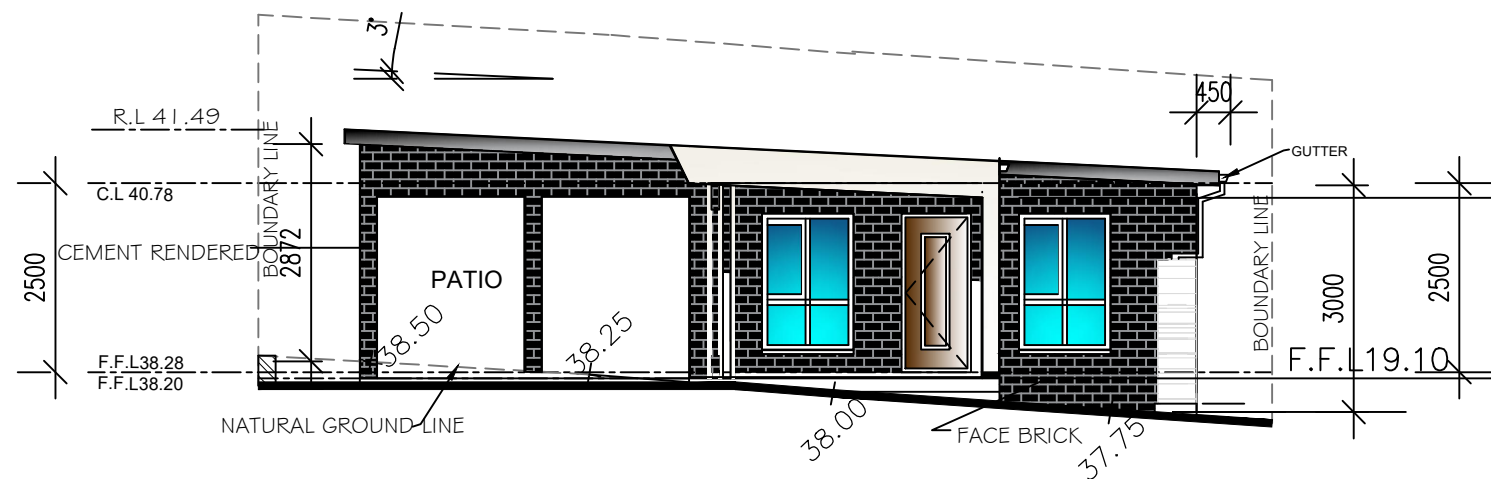
FOOTING & CONCRETE SLABS TO ENG. DETAILS

Section A-A

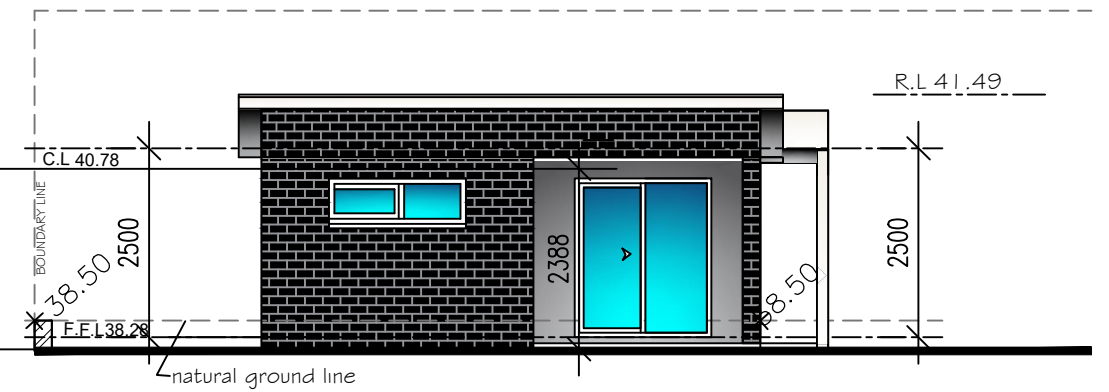


ROOF PLAN (secondary dwelling) 1/100

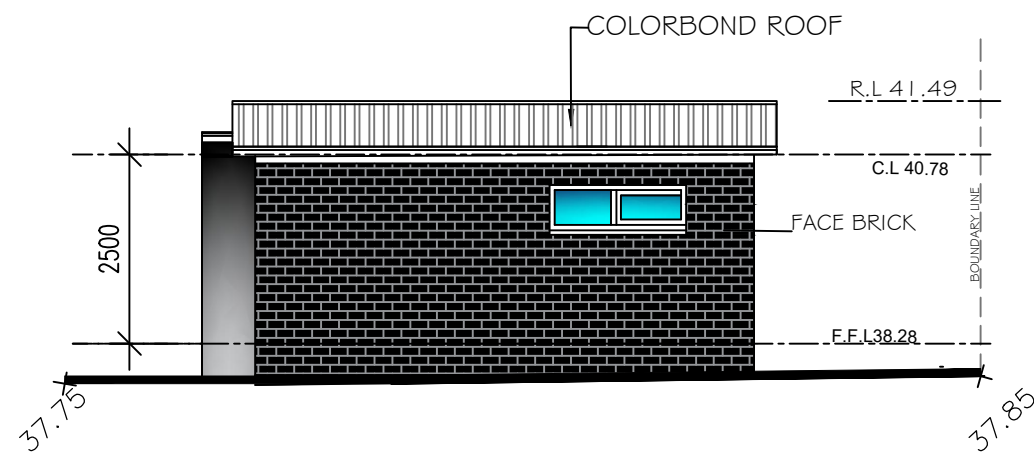




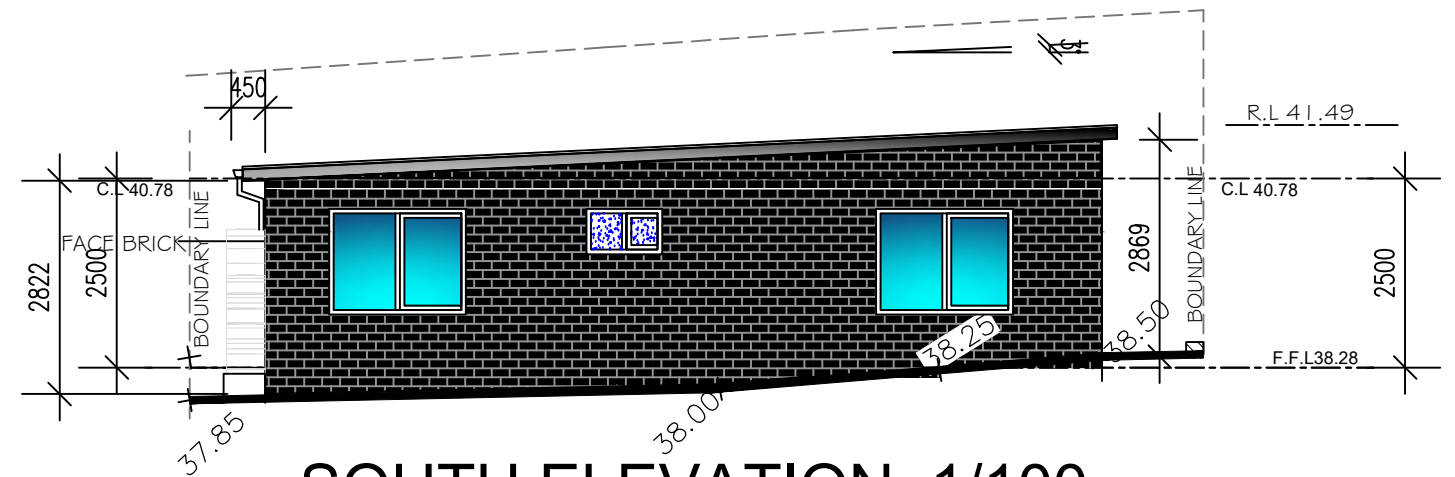
NORTH ELEVATION 1/100



EAST ELEVATION 1/100



WEST ELEVATION 1/100



SOUTH ELEVATION 1/100



Thermal Performance and Materials commitments		Show on DA plans	Show on CC/GDC plans & specs	Certifier check
DIY				
General features				
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.			✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.		✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.				✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground.	73	nil/not specified	nil	
external wall: brick veneer; frame: timber - untreated softwood.	80	2.44 (or 3.00 including construction)/rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorbance 0.48-0.7)
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	4	2.50 (or 3.00 including construction)/rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorbance 0.48-0.7)

Thermal Performance and Materials commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
DIY				
General features				
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.		✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.				✓
Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground.	73	nil/not specified	nil	
external wall: brick veneer; frame: timber - untreated softwood.	80	2.44 (or 3.00 including construction) rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	4	2.50 (or 3.00 including construction) rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall: plasterboard; frame: timber - untreated softwood.	90	rockwool batts, roll or pump-in	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	90	ceiling: 4.5 (up), roof: foil backed blanket; ceiling: rockwool batts, roll or pump-in; roof: foil backed blanket.	nil	roof colour: medium (solar absorptance 0.48-0.59); ceiling area fully insulated
Note • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code. Note • If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (f)) of the National Construction Code. Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. Note • Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.				
Energy Commitments				
Hot water		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 7 stars.		✓	✓	✓
Cooling system				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5			✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5			✓	✓
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5			✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5			✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off			✓	✓
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off			✓	✓
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off			✓	✓
Artificial lighting				
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
Other				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W01	N	1800.00	1210.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	none	not overshadowed
W02	N	1800.00	1210.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	verandah 1000 mm, 2350 mm above base of window or glazed door	not overshadowed
W03	E	2100.00	1810.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	verandah 4359 mm, 2400 mm above base of window or glazed door	not overshadowed
W04	E	600.00	1810.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	none	not overshadowed
W05	S	1200.00	1810.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	none	not overshadowed
W06	S	600.00	1000.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	none	not overshadowed
W07	S	1200.00	1810.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	none	not overshadowed
W08	W	600.00	1810.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.18 - 0.22)	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed

JOB DESCRIPTION	DRAWING TITLE	NOTES		DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE
PROPOSED SECONDARY DWELLING (GRANNY FLAT)	BASIX COMMITMENTS	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE.	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSTIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE	DATE	21/08/2023					
				CHECKED	SS					
				SCALE	1/100					
				JOB NUMBER	918					
NUMBER IN SET	6									
ISSUE										
AT: 212 OLD KENT ROAD, GREENACRE LOT 2 - DP 414534	CLIENT NAME	MR. AZZAM KSEBE 0410485165								

ONE STOREY FIBRO RESIDENCE
TILED ROOF
NO. 210

LEGEND

①

SINGLE STOREY FIBRO HOUSE WITH TILE ROOF

①

SINGLE STOREY CLAD HOUSE WITH TILE ROOF

②

EXISTING DOUBLE STOREY BRICK HOUSE WITH COLORBOND ROOF

PROPOSED SECONDARY DWELLING WITH COLORBOND ROOF

PROPOSED PATIO

COURT YARD

STEPPING STONE

PREVAILING WINDS

A

OVER LOOKING

PROPOSED BUILDINGS LINES

(A)

STORM WATER EASEMENT

EXISTING TREES TO BE RETAIN

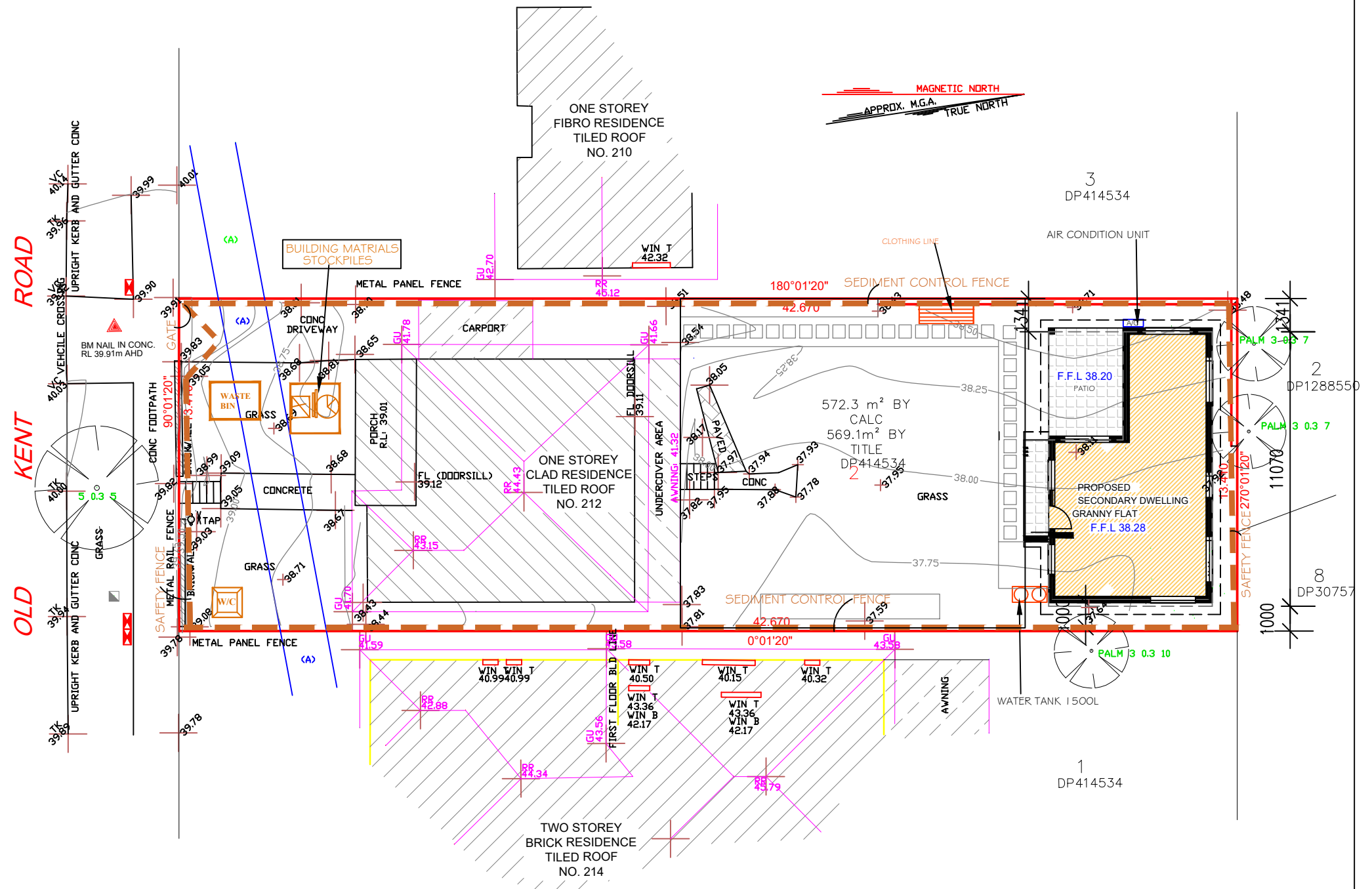
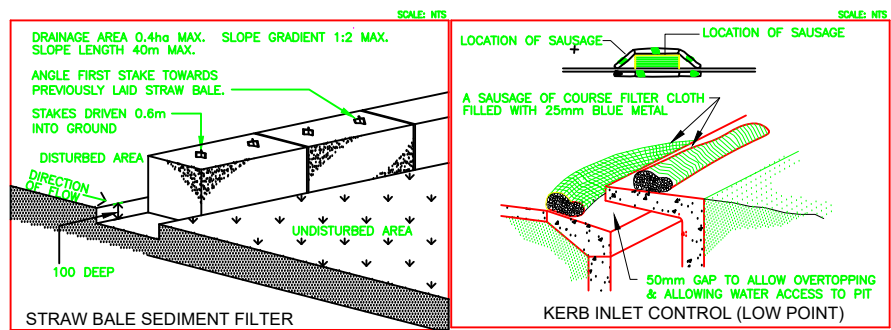
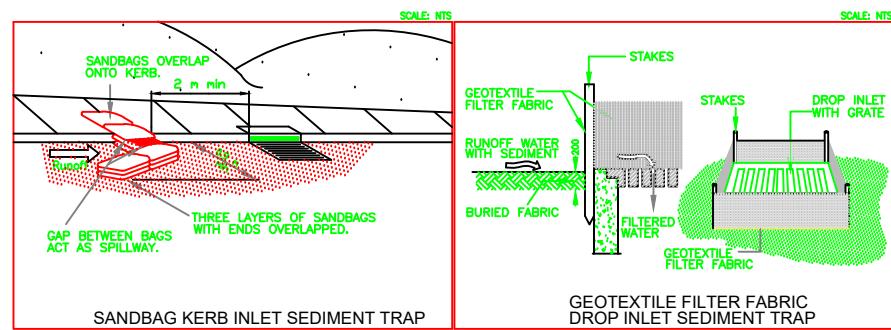
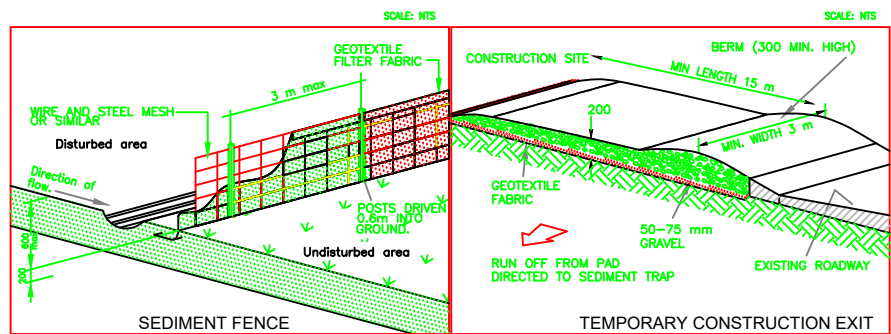
The site analysis drawing shows a residential property with several existing and proposed structures. At the top is a yellow hatched area for 'ONE STOREY FIBRO RESIDENCE TILED ROOF NO. 210'. Below it is an 'EXISTING ONE STOREY CLAD RESIDENCE TILED ROOF NO. 212'. To the right is a 'TWO STOREY BRICK RESIDENCE TILED ROOF NO. 214'. A 'PROPOSED SECONDARY DWELLING (GRANNY FLAT)' is shown on the right side. The site includes a 'CARPORT', 'CONC DRIVEWAY', 'CONC FOOTPATH', 'METAL RAIL FENCE', 'METAL PANEL FENCE', and 'UPRIGHT KERB AND GUTTER CONC'. A 'VEHICLE CROSSING' is marked on the left. A 'BM NAIL IN CONC. RL 39.91m AHD' is noted. The drawing shows 'NORTH BREEZES' and 'WESTERN WINTER' prevailing winds. A 'STORM WATER EASEMENT' is indicated by a blue line labeled '(A)'. A 'CLOTHING LINE' and 'AIR CONDITION UNIT' are shown on the right. A 'WATER TANK 2000L' is located near the bottom right. The drawing includes various dimensions, bearings, and elevations. A 'MAGNETIC NORTH' arrow is shown at the top right, and a 'TRUE NORTH' arrow is shown at the bottom right. A 'SUN' symbol is at the top right. A 'SUN' symbol is at the bottom right. A 'SUN' symbol is at the bottom right. A 'SUN' symbol is at the bottom right.

SITE ANALYSIS 1/200

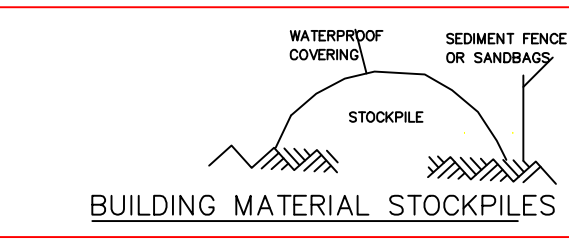
SIGHT BUILDING DESIGN Sam. Sallit (B. Arch.) MEMBER OF THE ROYAL AUSTRALIAN INSTITUTE OF ARCHITECT REGISTERED DESIGN & BUILDING PRACTITIONER (SERVICE NSW) (Tel - fax) 9637 1491 Mob: 0410 316 294 31 Farnell Street, Merrylands 2160 marsam2@outlook.com.au	JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE	
	PROPOSED SECONDARY DWELLING (GRANNY FLAT)	SITE ANALYSIS	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE. - SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. - WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE	DATE	21/08/2023	N					
		CLIENT NAME		CHECKED	SS						
				SCALE	1/200						
				JOB NUMBER	918						
				NUMBER IN SET	7						
	AT: 212 OLD KENT ROAD, GREENACRE LOT 2 - DP 414534	MR. AZZAM KSEBE 0410485165		ISSUE							

EROSION NOTES:

- 1- ALL ERROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
- 2- MINIMISE DISTURED AREAS.
- 3- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- 4- DRAINAGE TO BE CONECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
- 5- ROAD AND FOOTPATH TO BE SWEEPED DAILY.
- 6- NO MATRIALS TO BE STORED ON FOOTPATH.
- 7- SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR DIRECTED BY COUNCIL'S REPRESENTATIVE. THE SILT FENCES ARE TO BE CLEARED OF SILT AND OTHER BUILT UP MATRIALS.

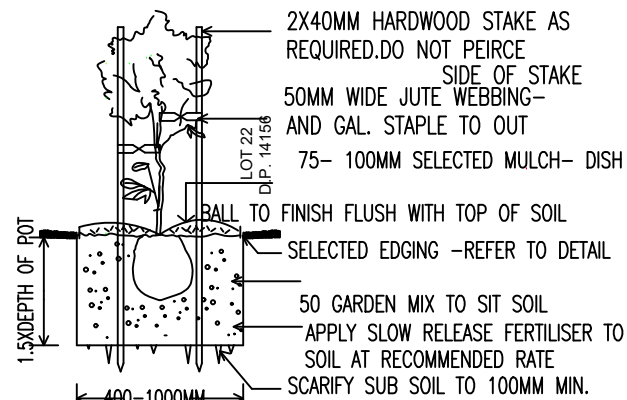


(A) - EASEMENT FOR DRAINAGE 1.83 WIDE (DP414534)



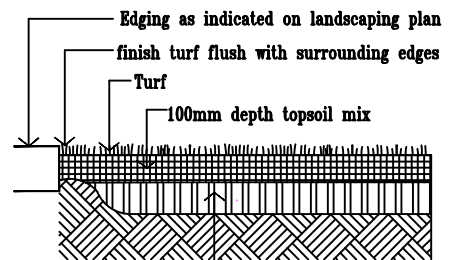
EROSION & SEDIMENT CONTROL PLAN 1/200

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMMENDMENT	BY	DATE
PROPOSED SECONDARY DWELLING (GRANNY FLAT)	EROSION & SEDIMENT CONTROL PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT - DONT SCALE.	DATE	21/08/2023					
		- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. - WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS	CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	918					
			NUMBER IN SET	8					
			ISSUE						



25 - 75 litre Typical Tree planting

Detail: Not To Scale



Ground preparation (Grass area- turf)

Detail: Not To Scale

PLANTING AND MAINTENANCE NOTES

—PLANTING MIX:

Imported planting mix to planting beds is to comprise an approved soil mix of:

- * 60% soil mix (75% coarse sand and 25% blacksoil)
- * 10% Mushroom compost
- * 10% composted sawdust
- * 10% pine bark fines
- * 10% compost manure

—Mulch:

* Mulch shall be Hardwood chip mulch free from exotic plant material

—Plant Material:

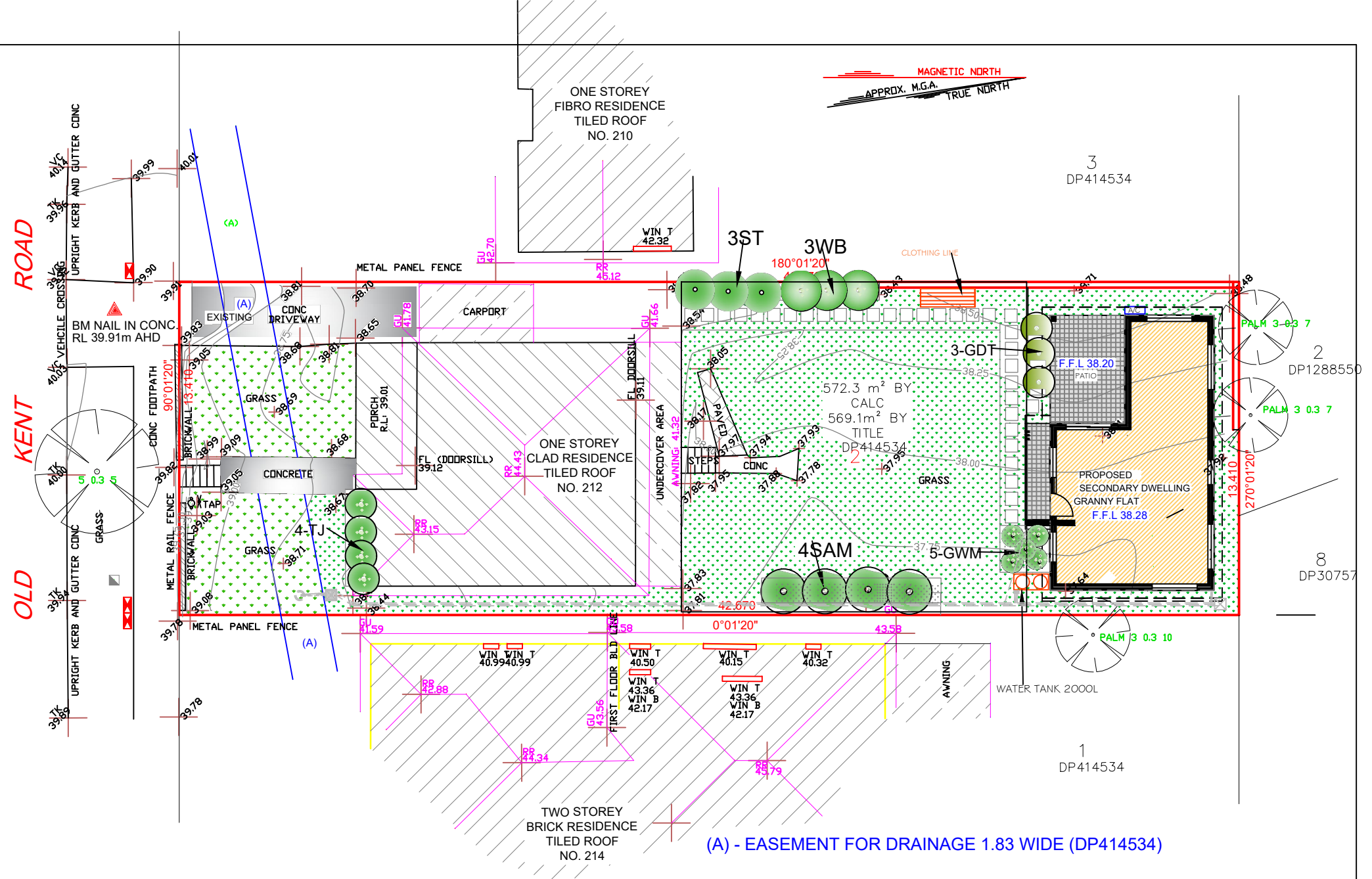
* All plants shall be free of fungus and insect damage, all plants shall be healthy, well shaped, not soft or forced grown and not root bound

—Turfed areas:

* All new turf areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

—Maintenance/Plant Establishment:

* Landscaping contractors to provide 13 weeks for maintenance/ plant establishment period. Carry out recurrent works of maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking, and tying, replanting, cultivating, pruning, hedge, clipping, top dressing, and keep the site neat & tidy.



Plant Schedule

ID	Qty	Common Name	Botanical Name	SIZE	Mature Height	Mature Spread	Native (N)
Trees							
ST	3	Tiny Trev	Syzygium australe 'Tiny Trev'	200mm	0.8 - 1m	0.6 - 0.8m	N
WB	3	Blue Gem	Westringia 'Blue Gem'	200mm	0.9 - 1.5m	0.9 - 1.2m	N
SAM	4	Minnie Magic	Acmena 'Minnie Magic'	200mm	0.8 - 1.0m	0.8 - 1.0m	N
Shrubs							
Native Grasses & Ground Covers							
TJ	4	Star Jasmine	Trachelospermum Jasminoides	150mm	0.3 - 0.6m	1 - 4m	
GWM	5	Mundi	Westringia fruticosa 'Mundi'	150mm	0.45 - 0.6m	0.9 - 1.2m	N
GDT	3	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.6 - 0.7m	0.4 - 0.6m	N

LEGEND	
	Existing Palm Tree
	Proposed shrub plantings
	EXISTING Concrete driveway / path pavement
	Non slip pavement
	Proposed garden bed
	Proposed turf area
	stepping stones
	STORM WATER PIPE LINE

LANDSCAPE PLAN 1/200



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JOB DESCRIPTION
PROPOSED
SECONDARY DWELLING
(GRANNY FLAT)

DRAWING TITLE
LANDSCAPE PLAN

CLIENT NAME

MR. AZZAM KSEBE
0410485165

NOTES

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- STORM WATER TO DRAIN TO EXISTING DRAINAGE EASEMENT
- DON'T SCALE.
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- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS

DRAWN SS

DATE 21/08/2023

CHECKED SS

SCALE 1/200

JOB NUMBER 918

NUMBER IN SET 9

ISSUE

NORTH



ISSUE

AMMENDMENT

BY

DATE